

February 22, 2024

**ADVERTISEMENT FOR BID
for
SANDS DRIVE PARK PAVILION PROJECT**

The Jasper County Board of Commissioners is soliciting competitive sealed bids from qualified contractors for the **Sands Drive Park Pavilion Project**. Sealed bids will be received by the Jasper County Board of Commissioners, 126 W. Greene Street, Suite 18, Monticello, GA 31064 until **2:00 P.M. local time on Tuesday, March 26, 2024** and then publicly opened and read aloud.

Any bid received after 2:00 P.M. will not be considered by OWNER. The Bid envelope should be marked on the outside with name of Bidder, date and time of opening. One (1) unbound original should be submitted. Bids are legal and binding upon the bidder when submitted.

The work to be performed by the Contractor consists of but is not limited to the following:

The project consists of constructing a 30'-0" wide x 38'-0" long wood framed pavilion on an existing pad at the Sands Drive Park. The new pavilion will match an existing pavilion located at Westview Park. The new pavilion will NOT have any utilities included.

The Contractor shall furnish and install all materials, labor and equipment necessary for construction of this project.

A pre-bid conference is not required. All interested Bidders are welcome to visit the park locations to verify existing conditions.

Bid Schedule:

<u>Advertisement:</u>	<u>Thursday, February 22, 2024.</u>
<u>Deadline for Questions:</u>	<u>Thursday, March 7, 2024 at 2:00 pm.</u>
<u>Deadline for Substitutions:</u>	<u>Thursday, March 7, 2024 at 2:00 pm.</u>
<u>Bid Opening:</u>	<u>Tuesday, March 26, 2024 at 2:00 pm.</u>

Copies of the Bidding Documents may be obtained from Mike Benton, County Manager, Jasper County Board of Commissioners. Email: mbenton@jaspercountyga.org.

All questions regarding bids should be in writing (via email) and directed to Mike Benton, County Manager, Jasper County Board of Commissioners - mbenton@jaspercountyga.org no later than the Deadline for questions Date and Time indicated above.

No oral interpretations or information can be considered as binding, therefore, no telephone or verbal correspondence will be acknowledged. Receipt of Addenda shall be acknowledged in the Bidding Form.

Bids in the case of Corporations not chartered in Georgia must be accompanied by proper certification stating that said Corporation is authorized to do business in the State of Georgia.

Sands Drive Park Pavilion Project

BID DATE: March 26, 2024

Page 2

No Bidder may withdraw their Bid within sixty (60) days after the actual date of the opening thereof.

Bidder agrees to complete the Contract awarded within the “allowable calendar days for completion” from the date of the “Notice to Proceed”.

Bonds are not required on this project.

Jasper County does not discriminate on the basis of disability in the admission or access to its programs or activities. The written Bid Documents supersede any prior verbal or written communications between the parties.

Award will be made to the contractor submitting the lowest responsive and responsible bid. Jasper County reserves the right to reject any or all bids to waive technicalities and to make an award deemed in its best interest.

Award notification will be sent to companies submitting a Bid via email.

We look forward to your bid and appreciate your interest in Jasper County.

JASPER COUNTY BOARD OF COMMISSIONERS

BID FORM

Bidder submits the following lump sum price for the **Sands Drive Park Pavilion Project**

Bid submitted by: *(hereinafter referred to as "BIDDER")*

(Name of Contractor)

Jasper County Board of Commissioners *(hereinafter referred to as "OWNER")*
126 W. Greene Street, Suite 18
Monticello, GA 31064

Gentlemen:

The BIDDER by making a bid represents that the following have taken place:

- The BIDDER has read and understands the bidding documents and the bid is made in accordance therewith.
- The BIDDER has read and understands the bidding or contract documents to the extent that such documentation relates to the work for which the bid is submitted and to other portions of the project, if any, being bid concurrently or presently under construction.
- The BIDDER has visited the site, become familiar with conditions of the site under which the work is to be performed, and has correlated the BIDDER'S personal observations with the requirements of the proposed contract documents.
- The BID is based upon the materials, equipment, and systems required by the bidding documents without exception.
- The BIDDER has studied and compared the bidding documents with each other and has reported to the Owner any errors, inconsistencies, or ambiguities discovered.
- The BIDDER hereby agrees to commence work under this contract on or before a date to be specified in a written "Notice to Proceed" of OWNER and to fully complete the project within the Contractor's stipulated calendar days from the date of the written Notice to Proceed.
- The BIDDER acknowledges receipt of the following addenda:

ADDENDUM NO.	DATE RECEIVED

- The BIDDER understands that the OWNER reserves the right to reject any or all bids and to waive any informalities in the bidding.

- The BIDDER agrees that their bid shall be binding and may not be withdrawn for a period of sixty (60) calendar days after the scheduled closing time for receiving bids.

A. LUMP SUM BID

DOLLAR AMOUNT: \$ _____
(Please Print or Type)

DOLLAR AMOUNT IN WORDS: _____ (Dollars & Cents)
(Please Print or Type)

Respectfully Submitted:

(Please Print or Type)

By: _____
(Signature)

Title: _____

Business Address: _____

Federal I.D. or Social Security No.: _____

ATTEST:

(Signature)

Name: _____
(Please Print or Type)

NOTE: Attest for a corporation must be by the corporate secretary; for a partnership by another partner; for an individual by a Notary.

END OF BID FORM

CONTRACTOR AFFIDAVIT UNDER O.C.G.A. §13-10-91(B)(1)

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. §13-10-91, stating affirmatively that the individual, firm or corporation which is engaged in the physical performance of services on behalf of _____ (name of public employer) has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. §13-10-91. Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present an affidavit to the contractor with the information required by O.C.G.A. §13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number

Date of Authorization

Name of Contractor

Name of Project

Name of Public Employer

I hereby declare under penalty of perjury that the foregoing is true and correct.

Executed on _____, 20____, in _____ (city), _____ (state).

Signature of Authorized Officer or Agent

Printed Name and Title of Authorized Officer or Agent

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE _____ DAY OF _____, 20__.

NOTARY PUBLIC

My Commission Expires:

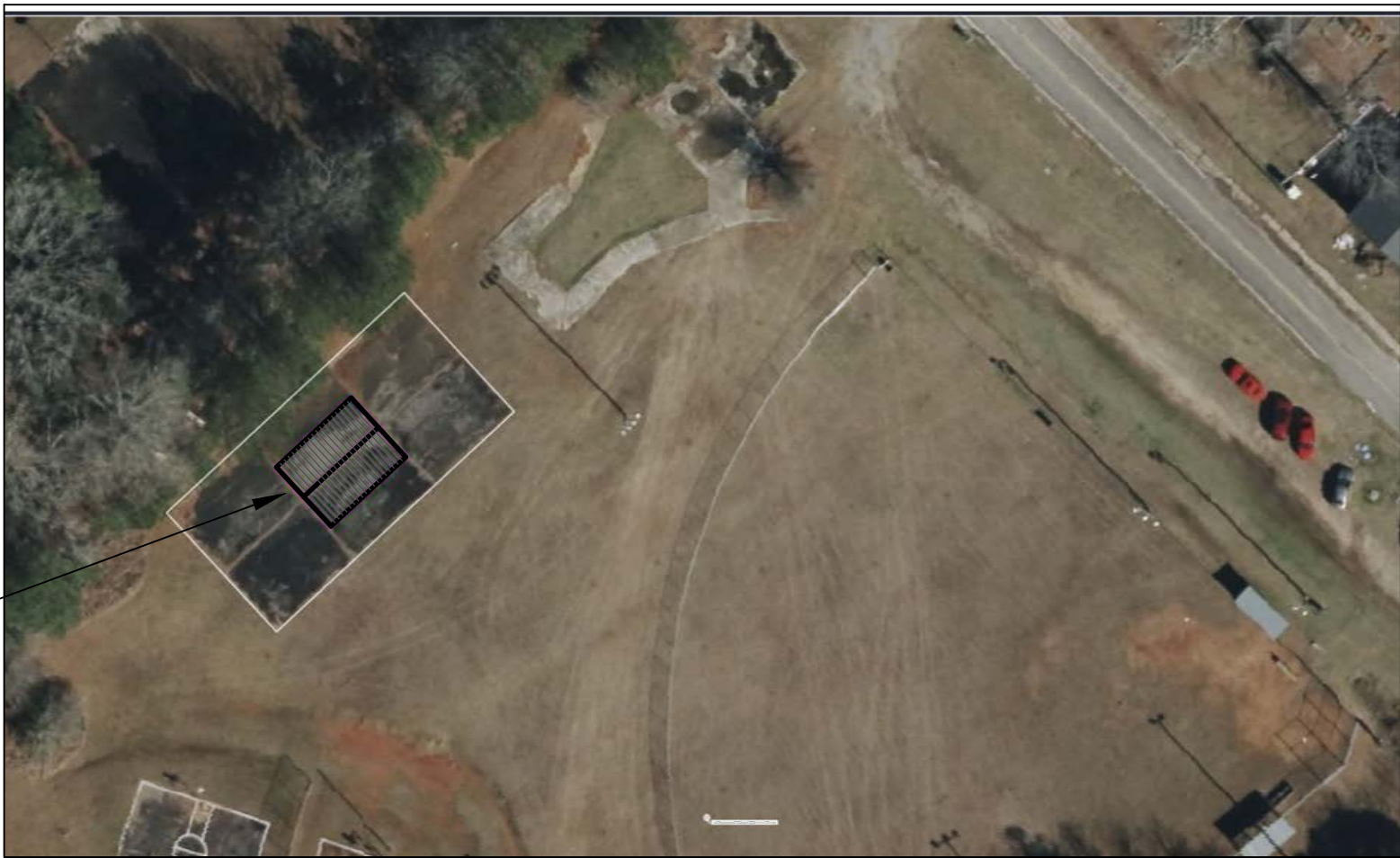
END OF FORM

CONSTRUCTION DOCUMENTS FOR:

SANDS DRIVE PARK PAVILION

600 SANDS DRIVE
MONTICELLO, GEORGIA

PROPOSED PAVILION LOCATION AT
EXISTING TENNIS COURT PAD



SITE PLAN - NOT TO SCALE

General Notes

- DO NOT SCALE DRAWINGS. USE ALL WRITTEN DIMENSIONS ONLY. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE BUILDING CODES, RECOGNIZED INDUSTRY STANDARDS, AND ALL MANUFACTURER'S RECOMMENDATIONS.
- DAMAGE TO THE EXISTING SITE SHALL BE REPAIRED. ALL REPAIRS SHALL BE APPROVED BY OWNER. ALL REPAIRS SHALL BE PERFORMED AS PART OF THIS CONTRACT WITHOUT ADDITIONAL COST TO OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. CARE SHALL BE TAKEN TO PROTECT ALL UTILITIES WHICH ARE TO REMAIN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY CONSTRUCTION, SHORING, SUPPORT AND ALL STAGING, SCHEDULING, MATERIAL DELIVERIES AND OTHER ITEMS THAT AFFECT THE SEQUENCE OF CONSTRUCTION OR SCHEDULING THE CONSTRUCTION PROJECT.
- THE SITE SHALL BE KEPT IN A CLEAN AND ORDERLY MANNER AT ALL TIMES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DISPOSING OF DEBRIS IN A CONSISTENT AND LEGAL MANNER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
- ALL BIDDING CONTRACTORS/SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID. ALL BIDDERS SHALL BE FAMILIAR WITH THE SITE AND ALL EXISTING CONDITIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFETY MEASURES REQUIRED.
- IN THE EVENT THE OWNER, THE OWNER'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHICH THE OWNER IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO THE CONSTRUCTION DOCUMENTS PREPARED BY PRECISION PLANNING, INC. RELATING TO THIS PROJECT WITHOUT OBTAINING PRECISION PLANNING, INC.'S PRIOR WRITTEN CONSENT, THE OWNER SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE OWNER AGREES TO WAIVE ANY CLAIM AGAINST PRECISION PLANNING, INC. AND TO RELEASE PRECISION PLANNING, INC. FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH CHANGES.
- WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION OR AS NOTED IS INDICATED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- ACCESS TO PARK AND WORKING TIMES SHALL BE COORDINATED WITH AND APPROVED BY OWNER.
- ALL MATERIALS USED FOR CONSTRUCTION SHALL BE NEW.
- REMOVE ONLY THOSE PORTIONS OF EXISTING TENNIS SURFACE MATERIAL NECESSARY TO ACCOMMODATE THE NEW WORK. PROVIDE PATCHING OF EXISTING SURFACE AS REQUIRED SO AREA CAN BE USED AS A PICNIC PAVILION.
- ENSURE SAFE PASSAGE OF THE PUBLIC AROUND CONSTRUCTION AREAS. ERECT TEMPORARY FENCING / BARRICADES AROUND CONSTRUCTION AREA AS REQUIRED TO PROTECT THE PUBLIC FROM SAFETY HAZARDS.
- CONDUCT DEBRIS REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH AND DAMAGE TO ROADS, STREETS, CURBS, CURB INLETS, DRAINS, WALKS, WALKWAYS, LANDSCAPING AND OTHER ADJACENT FACILITIES. ALL DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- PRECISION PLANNING, INC. IS NOT PROVIDING CONSTRUCTION CONTRACT ADMINISTRATION SERVICES. THEREFORE PRECISION PLANNING, INC. HAS NO RESPONSIBILITY FOR ATTENDING CONSTRUCTION MEETINGS OR VISITING THE JOBSITE DURING CONSTRUCTION TO VERIFY IF THE PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

Project Directory

OWNER:
JASPER COUNTY BOARD OF COMMISSIONERS
126 W. GREENE STREET, SUITE 18
MONTICELLO, GEORGIA 31064
CONTACT: MIKE BENTON, COUNTY MANAGER

ARCHITECT:
PRECISION PLANNING, INC.
400 PIKE BOULEVARD
LAWRENCEVILLE, GEORGIA 30046
(770) 338-8000
CONTACT: LANCE DAVIS, RA

Project Description

THIS PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

CONSTRUCT NEW WOOD FRAMED PAVILION AT LOCATION OF EXISTING ABANDONED TENNIS COURTS. THIS PAVILION WILL BE SIMILAR TO THE PAVILION LOCATED AT WESTVIEW PARK. PAVILION WILL HAVE A METAL ROOF. GUTTERS AND DOWNSPOUTS ARE NOT REQUIRED. PAVILION WILL NOT HAVE ANY MECHANICAL, PLUMBING OR ELECTRICAL ITEMS.

EXISTING TENNIS COURT SURFACE WILL SERVE AS FINISHED SLAB UNDER PAVILION ONCE STRUCTURE IS COMPLETE. PROTECT COURT SURFACE DURING CONSTRUCTION. FOOTINGS WILL BE REQUIRED UNDER NEW COLUMNS. ALL EXPOSED WOOD EXCEPT TRUSSES UNDER ROOF WILL BE PAINTED.

Drawing Index

SHEET	DRAWING NAME
CS	COVER SHEET
ARCHITECTURAL	
2.1	PLANS AND ELEVATIONS
2.2	PAVILION SECTION AND DETAILS

02/22/24

DATE

A24-007

PROJ. NUMBER

FILE NAME

FILE NUMBER

CS

COVER SHEET

DESIGN
PPI

DRAWN
PPI

CHECKED
PPI

SHEET TITLE

SANDS DRIVE PARK
PAVILION

600 Sands Drive
Monticello, Georgia 31064

PROJECT

PRECISION
Planning Inc.
planners • engineers • architects • surveyors
400 Pike Boulevard, Lawrenceville, Ga 30046
770.338.8000 • www.ppi.us

STAMP

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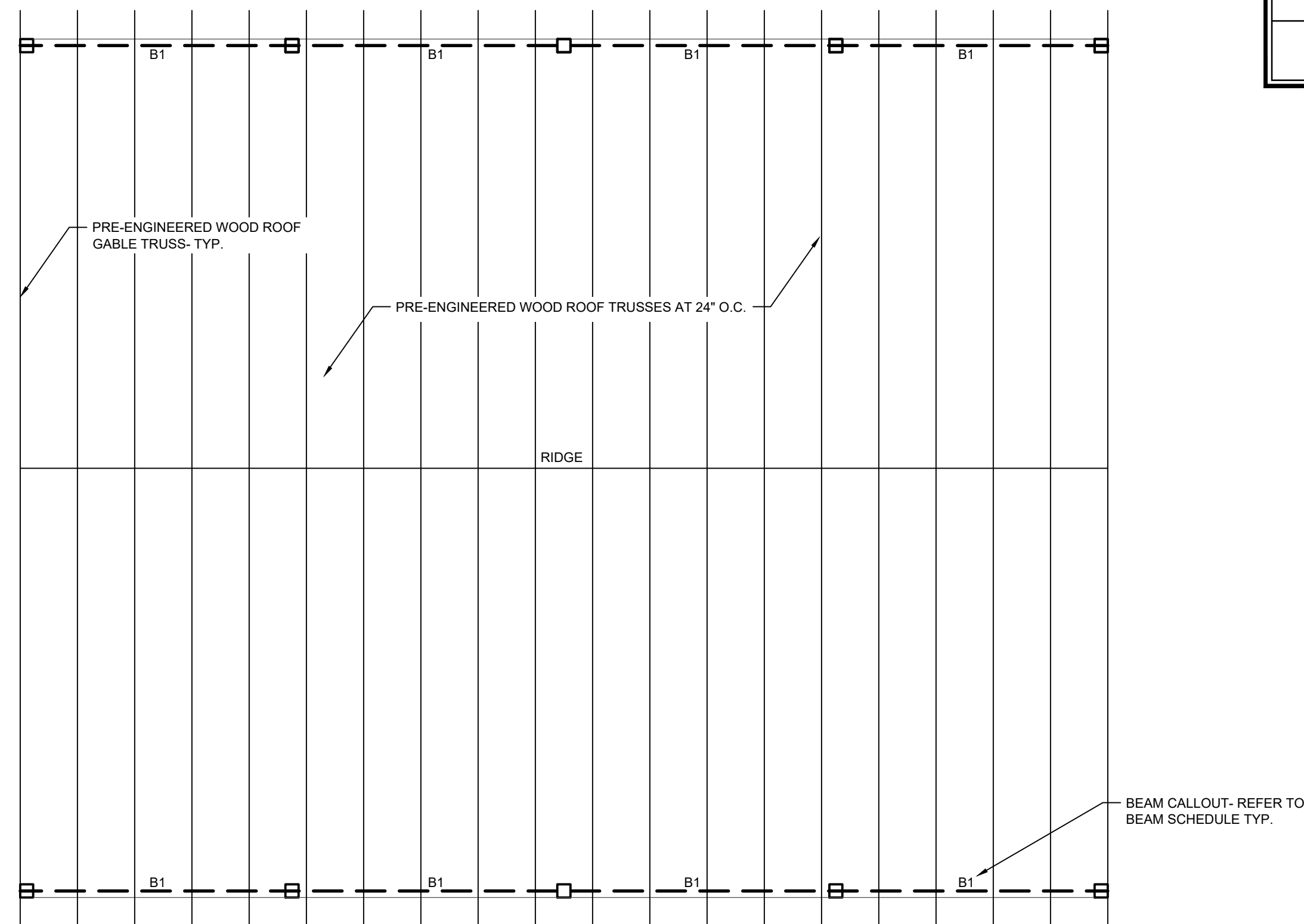
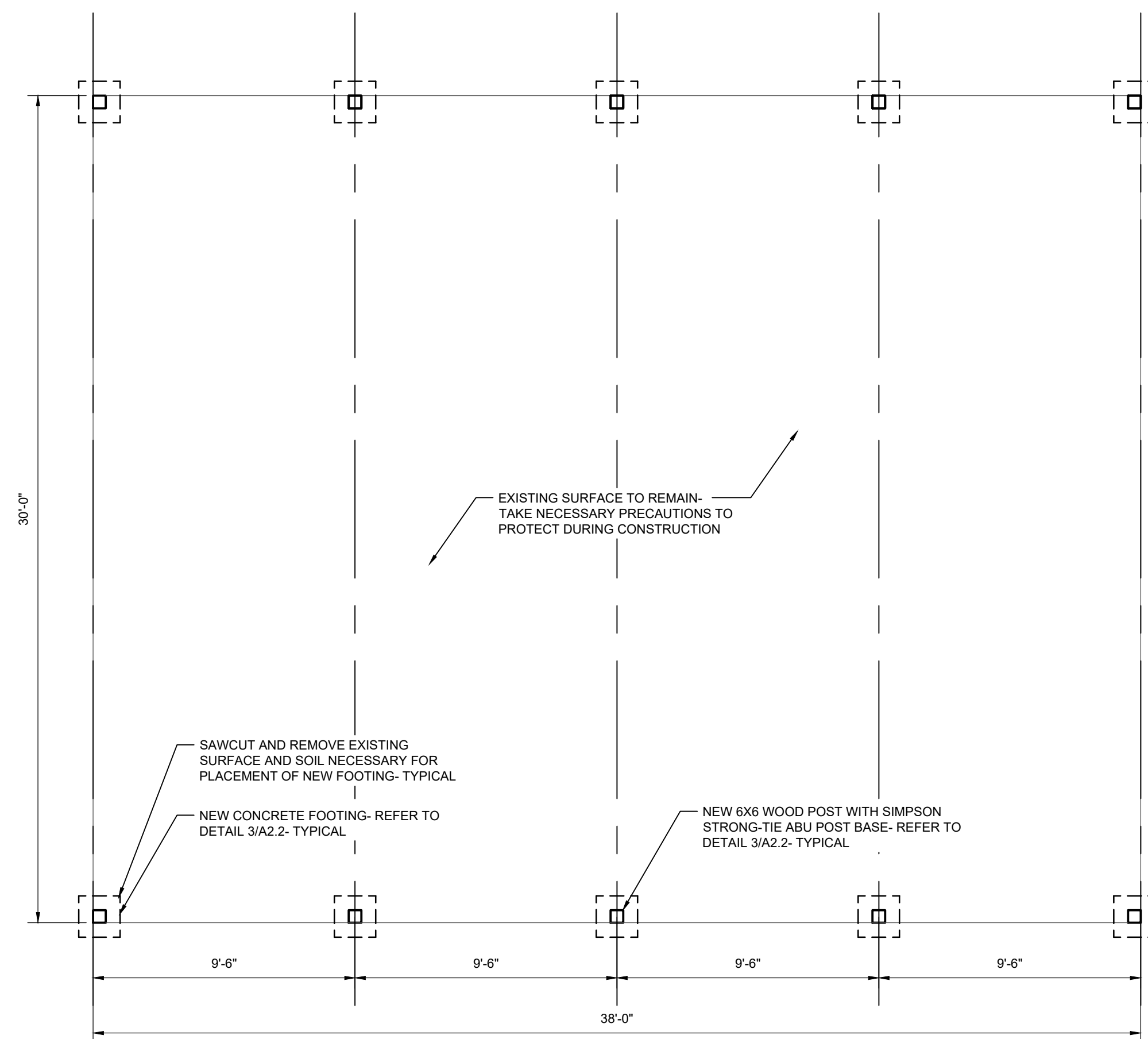
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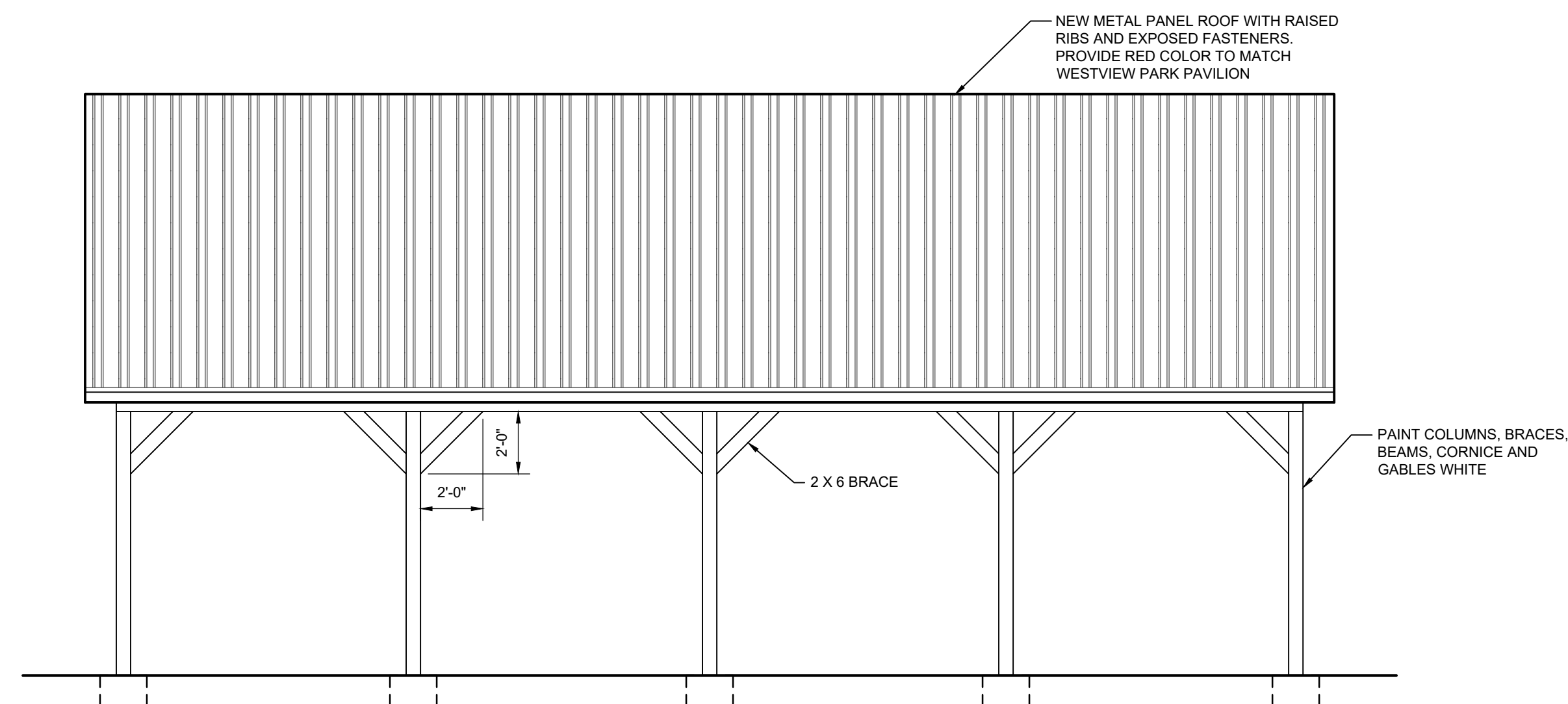
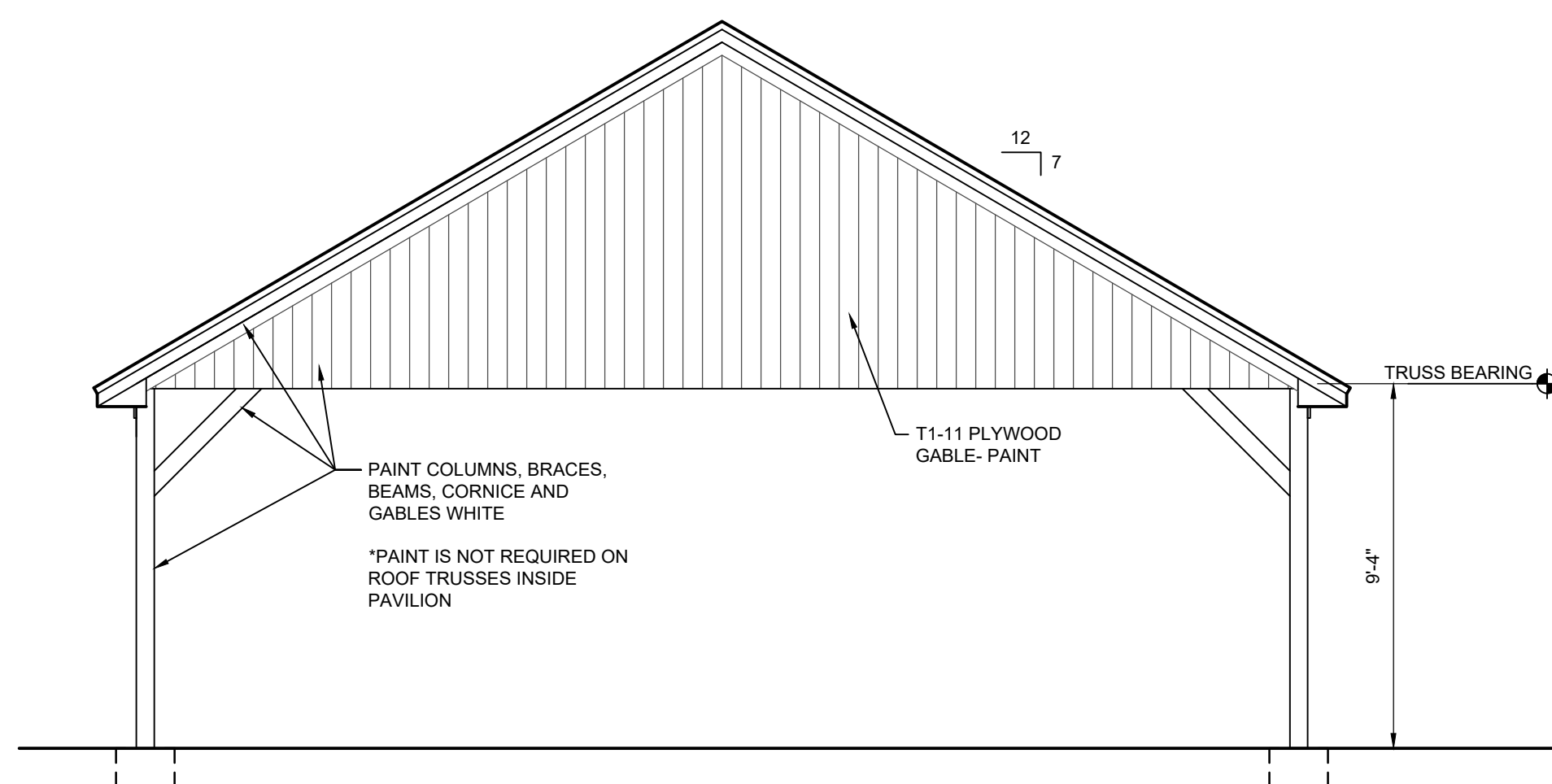
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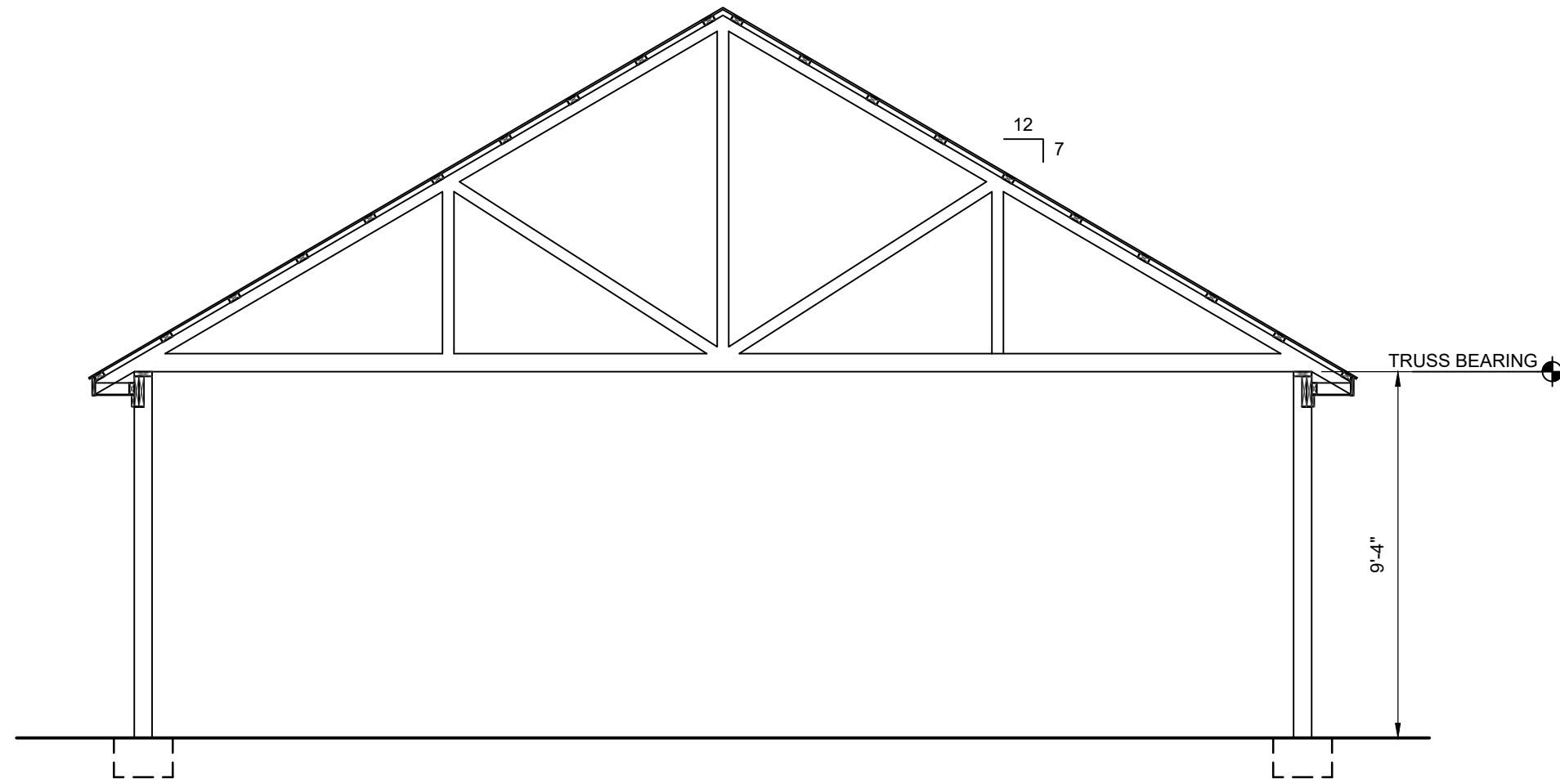
SYSTEM, WITHOUT WRITTEN PERMISSION

FROM PRECISION PLANNING, INC.

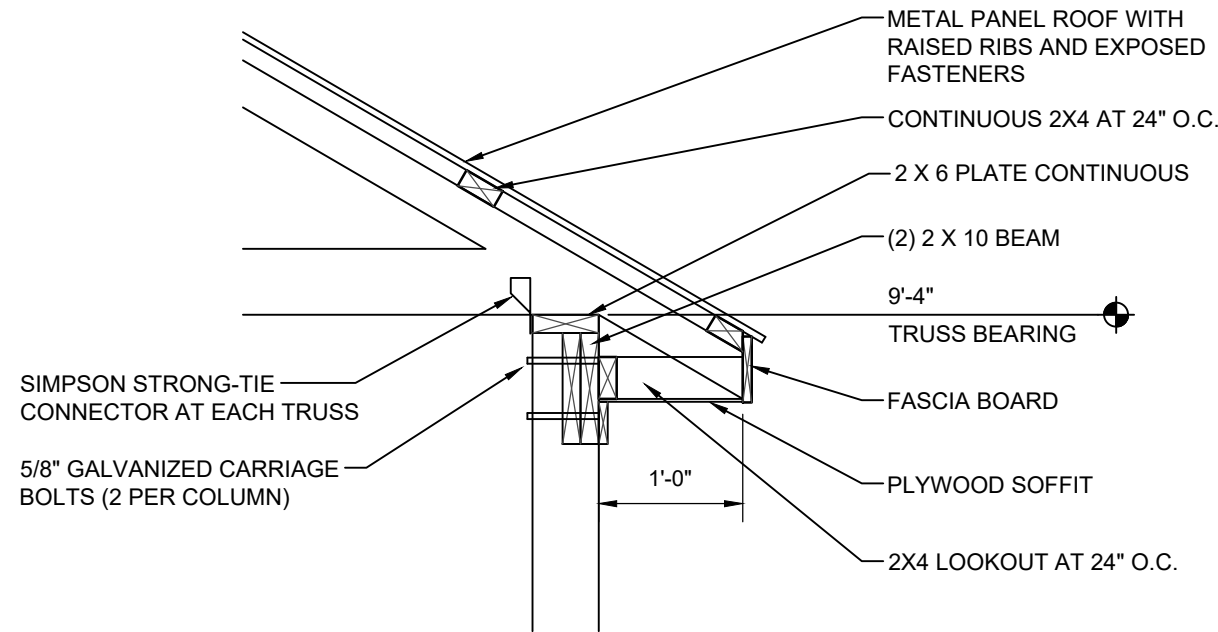


Beam Schedule	
B1	(2) 2 X 10s

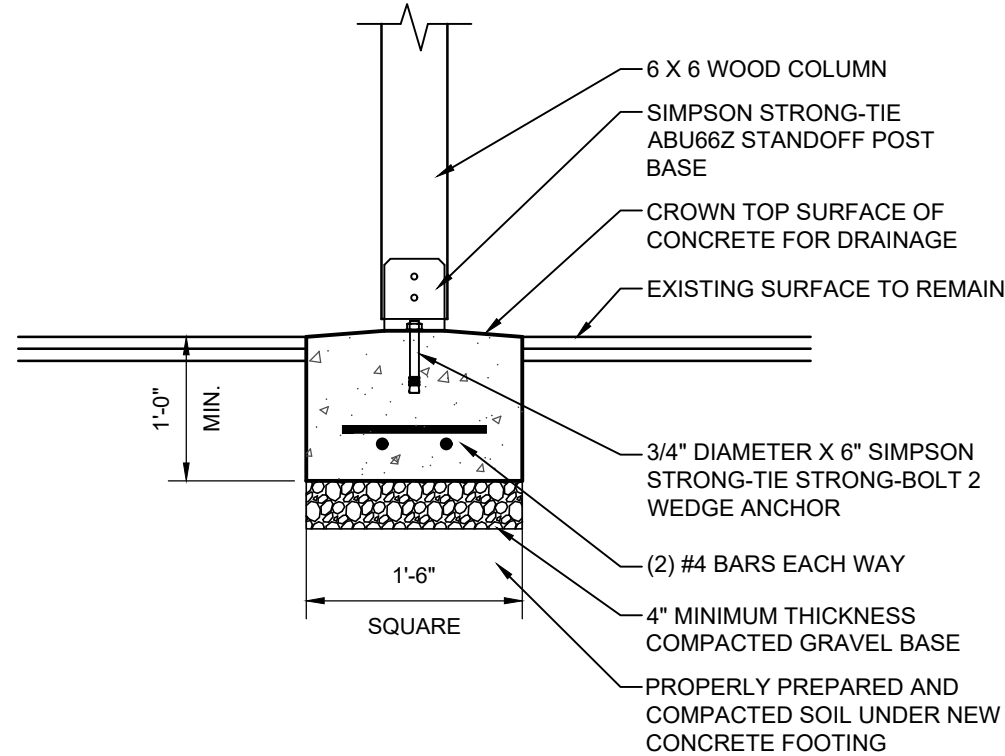
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1
A2.2
Building Section
SCALE 1/4" = 1'-0"



2
A2.2
Section Detail
SCALE 3/4" = 1'-0"



3
A2.2
Section Detail
SCALE 3/4" = 1'-0"

Structural Notes

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018 EDITION WITH 2024 GEORGIA STATE AMENDMENTS.
- THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING OF ALL WORK DURING CONSTRUCTION.
- FOOTINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 P.S.F. SOIL BEARING CAPACITY SHALL BE VERIFIED BY A SOILS ENGINEER REGISTERED IN THE STATE OF GEORGIA. OWNER WILL HIRE SOILS TESTING COMPANY.
- DURING CONSTRUCTION MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PAVILION AREA. DO NOT ALLOW STORED MATERIAL TO DISRUPT PROPER DRAINAGE OF AREA.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION THAT MIGHT BE AFFECTED BY OR OTHERWISE INTERFERE WITH INSTALLATION OF NEW WORK.

Concrete Notes

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
- REINFORCING STEEL COVERAGE IN FOOTINGS SHALL BE 3" ON SIDES AND BOTTOM AND 2" ON TOP.
- REINFORCING BARS SHALL CONFORM WITH ASTM A615 - GRADE 60.

Wood Truss Notes

- TRUSS LAYOUT FOR ROOF FRAMING IS TO SHOW INTENT. ACTUAL MAY VARY AT THE DISCRETION OF TRUSS ENGINEER/MANUFACTURER.
- WOOD TRUSSES MUST BE FABRICATED BY A CERTIFIED TRUSS MANUFACTURER AND DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF GEORGIA.
- ENGINEERED TRUSS SHOP DRAWINGS AND TRUSS ERECTION DRAWINGS SHALL BE ON THE JOBSITE DURING CONSTRUCTION. SHOP DRAWINGS SHALL BEAR THE SEAL OF A GEORGIA REGISTERED ENGINEER.
- TRUSSES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL CURRENT LOCAL BUILDING CODES AND TPI 1 SPECIFICATIONS.
- WOOD TRUSSES SHALL BE CONSTRUCTED OF SOUTHERN PINE, NO. 2 OR BETTER, $F_b = 1,400$ PSI, $E = 1,600,000$ PSI, MINIMUM SIZE NOMINAL 2" X 4".
- TRUSS PLATES SHALL CONFORM TO ASTM A446, GRADE A, HOT DIPPED GALVANIZED ACCORDING TO ASTM A525, COATING DESIGNATION G60 MINIMUM.
- DESIGN, MANUFACTURE, BRACING, AND ERECTION OF TRUSSED RAFTERS SHALL CONFORM TO TRUSSED PLATE INSTITUTE (TPI) RECOMMENDATIONS, MINIMUM.
- PROVIDE 2X4 CONTINUOUS BRACING NAILED TO BOTTOM CHORDS OF WOOD TRUSSES @ 8'-0" O.C. MAXIMUM. TOP CHORDS OF WOOD TRUSSES ARE BRACED WITH CONTINUOUS 2X4s AT 24" O.C. - REFER TO DETAIL.
- PROVIDE 2X4 BRIDGING NAILED TO VERTICAL WEB MEMBER AT CENTER OF TRUSSES ENTIRE LENGTH OF BUILDING AND/OR AS DESIGNED BY THE TRUSS MANUFACTURER. PROVIDE DIAGONAL 2X4 BRACING FROM MIDSPAN TO BOTTOM CHORD OF END TRUSSES. INSTALL DIAGONAL BRACES AT 8'-0" O.C. GENERAL CONTRACTOR TO PROVIDE MINIMUM BRACING IN ACCORDANCE WITH THIS DETAIL AND TPI RECOMMENDATIONS HIB-91.
- ALL WOOD TO WOOD CONNECTIONS SHALL EMPLOY METAL CONNECTORS. NO TOE OR END NAILING SHALL BE PERMITTED.
- PROPER ERECTION BRACING SHALL BE INSTALLED TO HOLD THE TRUSSES TRUE AND PLUMB AND IN SAFE CONDITION UNTIL PERMANENT TRUSS BRACING AND BRIDGING CAN BE SOLIDLY NAILED IN PLACE TO FORM A STRUCTURALLY SOUND FRAMING SYSTEM. ALL ERECTION AND PERMANENT BRACING SHALL BE INSTALLED AND ALL COMPONENTS PERMANENTLY FASTENED BEFORE THE APPLICATION OF ANY LOADS TO THE TRUSSES. ALL BRACING SHALL BE DESIGNED BY MANUFACTURER AND INDICATED ON THE SHOP DRAWINGS.

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PRECISION
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planners • engineers • architects • surveyors

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770.338.8000 • www.ppi.us

STAMP

SANDS DRIVE PARK
PAVILION

600 Sands Drive
Monticello, Georgia 31064

PAVILION
SECTION AND
DETAILS

DESIGN	DRAWN	CHECKED
PPI	PPI	PPI

SHEET TITLE

RELEASE

DATE	NO.	DESCRIPTION
2/22/24	1	RELEASE FOR BID

02/22/24	A24-007		
DATE	PROJ. NUMBER	FILE NAME	FILE NUMBER

A2.2